



*To assure Kaitnuht'ana Dena'ina thrive forever*

# **KENAITZE INDIAN TRIBE REQUEST FOR PROPOSAL Campus Master Plan**

Issued: 1/27/17

## **1. Overview**

The Kenaitze Indian Tribe (KIT or Tribe) is seeking a vendor to design a comprehensive and unified campus master plan, wayfinding map(s), and signage for all facilities on the Tribe's Campus in Old Town Kenai. The purpose of this Request for Proposal (RFP) is to solicit responses from competent and experienced vendors that are capable of providing the services as specified herein in a prompt, cost effective, and efficient manner.

## **2. Inquiries**

Questions regarding this RFP must be directed in writing to Shayna Franke, Project Manager, 907-335-7214 or [sfranke@kenaitze.org](mailto:sfranke@kenaitze.org). All emails must identify the RFP title in the subject line, include the contact information for the person submitting the question, and indicate the relevant RFP section number. All questions must be submitted using this format and must be received no later than 5:00pm Alaska Standard Time (AKST), 2/3/17.

KIT will review the submitted questions and respond to all inquiries in writing by replying via email to all inquirers and interested vendors at one time. The email will provide every question received and each accompanying response. This will ensure all potential vendors receive the same information.

## **3. Background Information**

KIT is a federally recognized tribal government, re-organized in 1971 under the statutes of the Indian Reorganization Act of 1934, as amended for Alaska in 1936. The Tribe serves over 5,000 community members, Alaska Natives, and American Indians in the central and upper Kenai Peninsula. KIT's Headquarters is located at 150 N Willow Kenai, Alaska 99611.

## **4. Proposal Submission Requirements**

All vendors interested in submitting a proposal in response to this RFP must adhere to the following requirements. Failure to do so may result in KIT deeming the proposal to be non-responsive and therefore not eligible for consideration.

#### 4.1 Proposal Submittal Items

Vendors must only submit one proposal, follow the format outlined below, and clearly identify each of the following four criteria within the submittal.

- a) **Cover Letter** – submit a cover letter on company letterhead that is no more than 1 page and includes the following:
  - a. The company’s legal name and contact information
  - b. An overview of the company’s qualifications and experience relevant to the scope of work defined herein
  - c. The identify and qualifications of the person(s) whom will be assigned to the job should the vendor be chosen
    - i. The letter must be signed by an authorized company representative, and include that person’s contact information.
- b) **Scope of Work** – submit a written, detailed description of how each subsection within section 5 Scope of Work that will be accomplished. Please refrain from using marketing information in this part of the proposal submittal.
- c) **Deliverables** – submit a schedule of all deliverables and milestones/due dates.
- d) **Price** – submit a written price proposal to provide the good(s) or service(s) as specified herein, using the format set forth in subsection 7.1 Proposal Price. The proposed price must include all of the vendor’s costs associated with providing the good(s) or service(s) as called for within this RFP and including, but not limited to, wages, administrative overhead, travel, transportation, lodging, and other similar costs unless stated otherwise. No other costs will be considered for payment.

All proposals will become the property of KIT and may be returned only at the option of KIT. Any information marked as proprietary or confidential will be held in confidence to the greatest extent possible.

#### 4.2 Proposal Submission Deadline

To be considered, a complete proposal package must be received by KIT by the deadline via either of the following methods:

1. Hand delivered or mailed to: Kenaitze Indian Tribe  
Attention: Shayna Franke  
Office of Grants and Acquisition Services  
150 N Willow St  
Kenai, Alaska 99611
2. Electronically transmitted to: [sfranke@kenaitze.org](mailto:sfranke@kenaitze.org)

The deadline for submission is 5:00pm Alaska Time, 02/10/17. Any proposals received after the deadline may not be accepted. Proposals sent via email should be sent in a single PDF document format, with the RFP title noted in the subject line.

#### **4.3 Proposal Preparation Cost**

KIT shall not be responsible for any costs associated with preparing and/or submitting a proposal in response to this RFP, in any manner or for any reason.

#### **4.4 Proposal Validity**

A vendor's price proposal will remain valid for 45 calendar days from the RFP submission deadline or until an award is made to the successful vendor, whichever is sooner. No price proposal will be accepted if marked "price prevailing at time of delivery", "estimated price", or something similar. All price proposals must be in US dollars.

### **5. Scope of Work**

The Tribe is seeking a vendor to provide design services for

#### **5.1 Campus Master Plan**

Vendor will design a comprehensive, unified campus master plan that incorporates existing landscaping plans (as applicable) for all KIT's facilities including the following locations within the old town campus: Dena'ina Wellness Center, Tribal Court, Safety & Security, Elders, Na'ini Social Services, and Staff parking area(s). There are no existing landscaping plans for Tribal Court and Safety & Security.

The plan should show recommended changes to the current campus to include, but not be limited to, culturally appropriate landscaping alterations, updated property lines, add'l lighting in parking lot(s), designated parking areas, waste bin location(s), and designated smoking area(s). The plan must include detailed instructions for maintaining the final campus master plan which will be provided to a groundskeeper and a vendor that will make the changes to the existing campus.

#### **5.2 Wayfinding Map(s)**

Vendor will design exterior wayfinding maps for visitor orientation at main entrances at each facility and key landmarks on campus. The wayfinding map(s) should be in the Plan View Diagram format and be color coded with hatch patterns to aid the color blind.

#### **5.3 Signage**

Vendor will design signage for each facility. The signage for Na'ini Social Services, Tribal Court, and Safety & Security will be designed to allow for the building to indicate programs within. For example, the Tribal Court Facility includes the following programs: Court Appointed Special Advocates (CASA),

Tribal Circle, Probation, and Tribal Court. Signage should be designed to allow for future changes as needed.

## **6. General Requirements**

### **6.1 Term of Service**

The agreement resulting from this RFP shall be effective from the date of execution of the agreement through the completion of services. In no event shall services under the agreement exceed the contractually agreed upon terms or extend beyond 12/31/17, whichever is sooner unless agreed upon in writing. In the event the work is not completed within this timeframe, KIT, in its sole opinion, may determine the vendor to be in breach of the terms of the agreement.

### **6.2 RFP Modification**

KIT reserves the right to:

- a. Modify or otherwise alter any or all of the requirements herein. In the event of a modification, vendors will be given an equal opportunity to modify their proposals as identified in writing by KIT.
- b. Reject any proposal not adhering to the requirements set forth within this RFP, either in whole or in part.
- c. Reject any or all proposals received.
- d. Terminate this RFP at any time, without reason.

### **6.3 Order of Precedence in the Event of a Conflict**

If an agreement is awarded, all terms and conditions herein shall be incorporated into the award along with the vendor's proposal. Any change to the agreement must be through a written amendment agreed upon by both Parties. In the event of a conflict between the RFP and the vendor's proposal, the more stringent language shall apply.

### **6.4 Subcontracting**

The vendor must disclose to KIT the use and identity of all subcontractors it uses in carrying out the requirements herein. KIT reserves the right to approve all subcontractors if it so chooses. The vendor is solely responsible for the satisfactory performance of and compensation to any and all subcontractors.

### **6.5 Insurance**

The vendor shall have, maintain, and provide proof of Commercial General Liability Insurance and Workman's Compensation Insurance, in addition to any applicable insurance required by the State of Alaska or the vendor's primary state of location. The vendor must provide KIT with proof of the insurance required herein. The vendor shall be financially responsible for all deductibles, costs, and self-insured retention's and/or self-insurance required herein.

KIT is a sovereign nation, and as such the vendor waives all rights against the Tribe and its officers, employees, and agents for recovery of damages to the extent these damages are covered by the required policies.



## **6.6 Indemnification**

Except in the case of the sole negligence or willful misconduct of the Tribe, the vendor shall indemnify, defend and hold harmless the Tribe, and the Tribe's officers, agents, and employees from and against any and all liability, claims, damages, losses, expenses, actions, attorney fees and costs and lawsuits whatsoever (including without limitation all claims involving damage to real or personal property, civil rights claims, or claims of infringement of a patent, copyright, trade secret or trademark) caused by or arising out of the performance, acts, or omissions under this RFP by the vendor or any of its officers, agents, representatives, employees or subcontractors or arising from or related to a failure to comply with the requirements herein, and/or applicable state or federal statute, law, regulation, or rule.

Nothing in this RFP is a waiver of sovereign immunity.

## **7. Price and Payment**

### **7.1 Proposal Price**

The vendor must submit a written price proposal to provide the good(s) or service(s) as specified herein. The proposed price must include all of the vendor's costs associated with providing the good(s) or service(s) as called for within this RFP and including, but not limited to, wages, administrative overhead, travel, transportation, lodging, and other similar costs unless stated otherwise. No other costs will be considered for payment.

### **7.2 Payment**

The vendor shall be paid for actual work completed in accordance with the requirements herein and the accepted price proposal. The total amount to be paid to the vendor shall not exceed the quoted amount unless otherwise specifically agreed to in advance with supporting justification and in writing by both parties.

Payment to the vendor is contingent on the vendor delivering a bill or invoice to the Tribe on a monthly basis. The Tribe retains the right to require additional documentation to support the submitted invoice. The Tribe will provide payment to the vendor within 30 calendar days of acceptance of the invoice.

The vendor shall provide the following information with each monthly invoice:

- Identification of billing period;
- A statement describing the actual work completed with sufficient detail to reconcile the charges against the work performed and/or work product received by the Tribe;
- Total amount of hours multiplied by the rate billed for the billing period;
- Total cost billed for the billing period;
- Date invoice was submitted;

- Entity name and contact information; and
- Name of authorized person originating or submitting the billing for the entity.

Submit invoices to:  
Accounts Payable  
Kenaitze Indian Tribe  
PO Box 988  
Kenai, Alaska 99611

## **8. Evaluation and Selection**

Proposals will be evaluated by KIT staff based upon the responsiveness to the submission requirements described in Section 4, and in any other manner deemed appropriate by the Tribe to determine the proposal most advantageous to the Tribe. KIT reserves the right to waive informalities and minor inaccuracies. KIT reserves the right to reject any and/or all proposals which it deems to be not in the best interests of KIT and to proceed with the next proposer or to utilize an entirely different process at any time during the process.

## **9. Attachment(s)**

Attachment A – Campus Photos 10/2016  
Attachment B – Campus plat, does not show current facilities  
Attachment C – Dena’ina Wellness Center & Elders Center\*  
Attachment D – Na’ini Bldg & Employee Parking Area\*\*

\*Landscaping is installed according to the existing plan.

\*\*Landscaping does not exist due to weather restrictions at the time the project was completed.

# Attachment A

Dena'ina Wellness Center

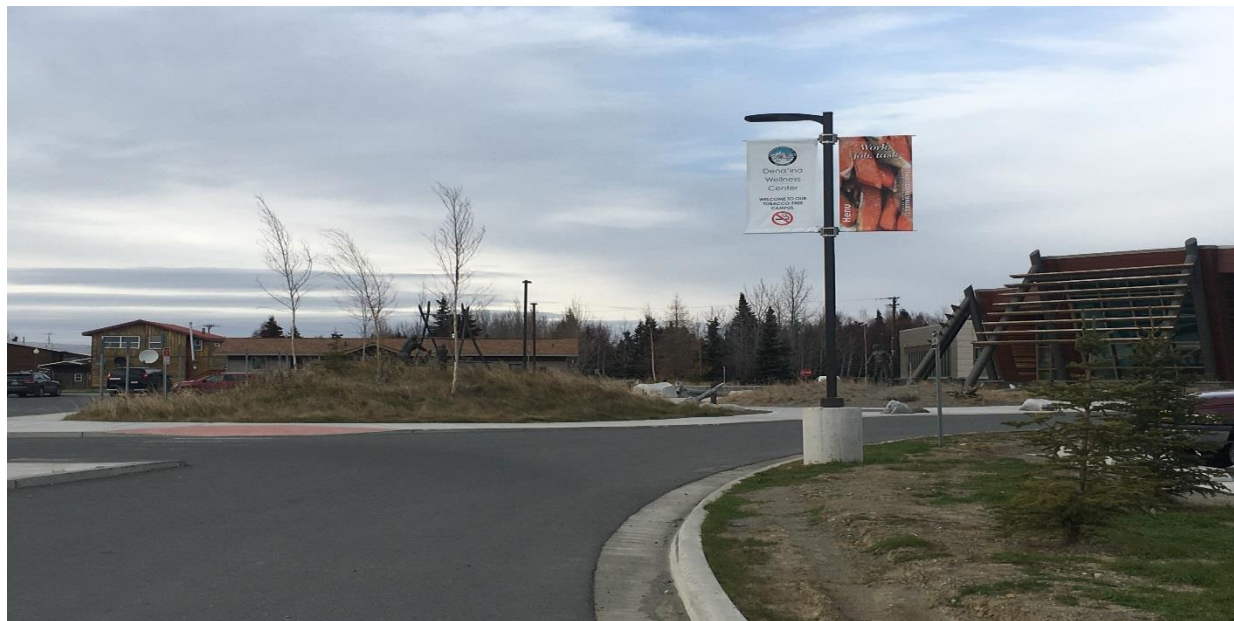




















Elders









Na'ini













Tribal Court









Safety & Security







Parking Area



# Attachment B

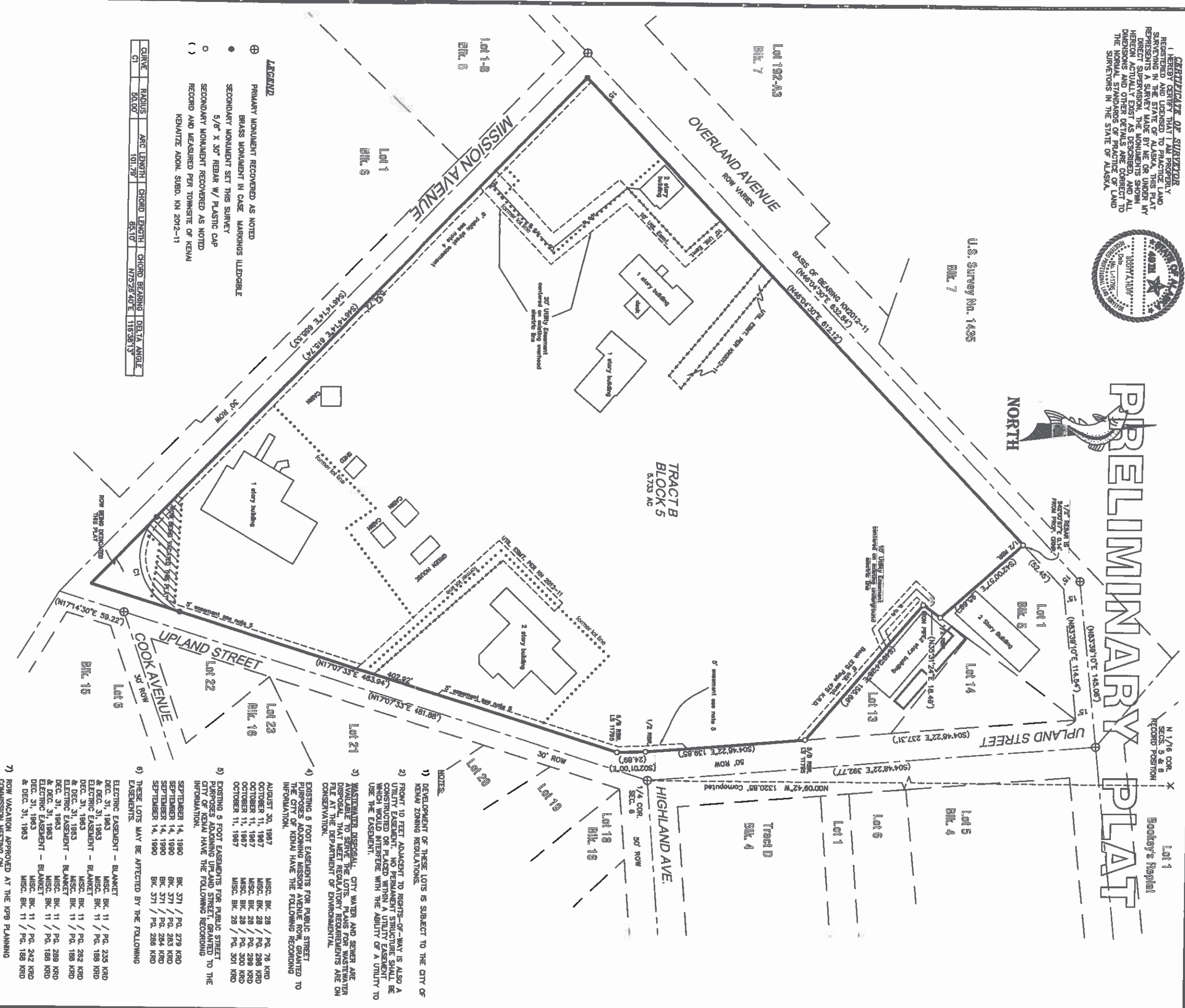
**CERTIFICATE OF SURVEYOR**  
 I HEREBY CERTIFY THAT I AM PROPERLY REGISTERED AND LICENSED TO PRACTICE LAND SURVEYING IN THE STATE OF ALASKA. THIS PLAN REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION. THE MONUMENTS SHOWN HEREON SHALL BE AS DESCRIBED AND ALL DIMENSIONS AND OTHER DETAILS ARE CORRECT TO THE NORMAL STANDARDS AND PRACTICE OF LAND SURVEYORS IN THE STATE OF ALASKA.



# PRELIMINARY PLAT



U.S. Survey No. 1435  
 Blk. 7



- LEGEND**
- ⊕ PRIMARY MONUMENT RECOVERED AS NOTED
  - BRASS MONUMENT IN CASE MARKINGS ILLEGIBLE
  - SECONDARY MONUMENT SET THIS SURVEY
  - 5/8" X 30" REBAR W/ PLASTIC CAP
  - RECORD AND MEASURED PER TOWNSITE OF KENAI KENAIITE ADDN. SUBD. KN 2012-11

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	54.00'	101.79'	85.10'	N75°28'40"E	118°38'13"

**CERTIFICATE OF OWNERSHIP AND DEDICATION**  
 I, THE UNDERSIGNED, HEREBY CERTIFY THAT KENAIITE INDIAN TRIBE, IS THE OWNER OF THE REAL PROPERTY SHOWN AND DESCRIBED HEREON AND OF SUBDIVISION AND ADOPTS THE CONSENT DEDICATE ALL RIGHTS-OF-WAY AND GRANT ALL EASEMENTS TO THE USE SHOWN.

ROSALIE TEPP, TRIBAL CHAIRPERSON  
 KENAIITE INDIAN TRIBE  
 PO BOX 888  
 KENAI, AK 99611

**NOTARY'S ACKNOWLEDGMENT**

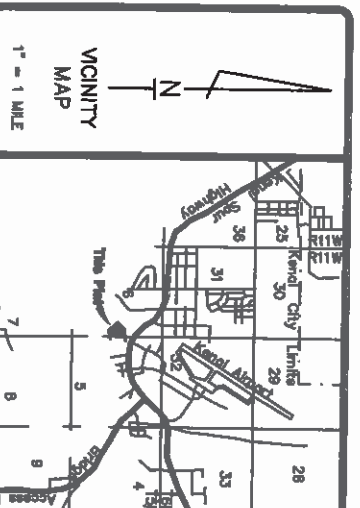
FOR ROSALIE TEPP  
 ACKNOWLEDGED BEFORE ME THIS \_\_\_ DAY OF \_\_\_\_\_ 2016  
 NOTARY PUBLIC FOR ALASKA  
 MY COMMISSION EXPIRES \_\_\_\_\_

**PLAT APPROVAL**

THIS PLAT WAS APPROVED BY THE KENAI PENINSULA BOROUGH PLANNING COMMISSION AT THE MEETING OF \_\_\_\_\_

KENAI PENINSULA BOROUGH

AUTHORIZED OFFICIAL



- NOTES:**
- 1) DEVELOPMENT OF THESE LOTS IS SUBJECT TO THE CITY OF KENAI ZONING REGULATIONS.
  - 2) FRONT 10 FEET ADJACENT TO RIGHTS-OF-WAY IS ALSO A UTILITY EASEMENT. NO PERMANENT STRUCTURE SHALL BE CONSTRUCTED OR PLACED WITHIN A UTILITY EASEMENT WHICH WOULD INTERFERE WITH THE ABILITY OF A UTILITY TO USE THE EASEMENT.
  - 3) WASTEWATER DISPOSAL, CITY WATER AND SEWER ARE AVAILABLE TO SERVE THESE LOTS FOR WASTEWATER DISPOSAL. THAT NEET REGULATORY REQUIREMENTS ARE ON FILE AT THE DEPARTMENT OF ENVIRONMENTAL CONSERVATION.
  - 4) EXISTING 5 FOOT EASEMENTS FOR PUBLIC STREET PURPOSES ADDING MISSION AVENUE ROW, GRANTED TO THE CITY OF KENAI HAVE THE FOLLOWING RECORDING INFORMATION:
    - AUGUST 30, 1987 MISC. BK. 28 / PG. 76 KRD
    - OCTOBER 11, 1987 MISC. BK. 28 / PG. 298 KRD
    - OCTOBER 11, 1987 MISC. BK. 28 / PG. 298 KRD
    - OCTOBER 11, 1987 MISC. BK. 28 / PG. 300 KRD
    - OCTOBER 11, 1987 MISC. BK. 28 / PG. 301 KRD
  - 5) EXISTING 5 FOOT EASEMENTS FOR PUBLIC STREET PURPOSES ADDING UPLAND STREET GRANTED TO THE CITY OF KENAI HAVE THE FOLLOWING RECORDING INFORMATION:
    - SEPTEMBER 14, 1990 BK. 371 / PG. 279 KRD
    - SEPTEMBER 14, 1990 BK. 371 / PG. 283 KRD
    - SEPTEMBER 14, 1990 BK. 371 / PG. 284 KRD
    - SEPTEMBER 14, 1990 BK. 371 / PG. 286 KRD
  - 6) THESE LOTS MAY BE AFFECTED BY THE FOLLOWING EASEMENTS:
    - ELECTRIC EASEMENT - BLANKET DEC. 31, 1963 MISC. BK. 11 / PG. 235 KRD
    - & DEC. 31, 1963 MISC. BK. 11 / PG. 188 KRD
    - ELECTRIC EASEMENT - BLANKET DEC. 31, 1963 MISC. BK. 11 / PG. 188 KRD
    - & DEC. 31, 1963 MISC. BK. 11 / PG. 282 KRD
    - ELECTRIC EASEMENT - BLANKET DEC. 31, 1963 MISC. BK. 11 / PG. 188 KRD
    - & DEC. 31, 1963 MISC. BK. 11 / PG. 289 KRD
    - ELECTRIC EASEMENT - BLANKET DEC. 31, 1963 MISC. BK. 11 / PG. 188 KRD
    - & DEC. 31, 1963 MISC. BK. 11 / PG. 242 KRD
    - & DEC. 31, 1963 MISC. BK. 11 / PG. 188 KRD
  - 7) ROW VACATION APPROVED AT THE KPB PLANNING COMMISSION MEETING ON \_\_\_\_\_

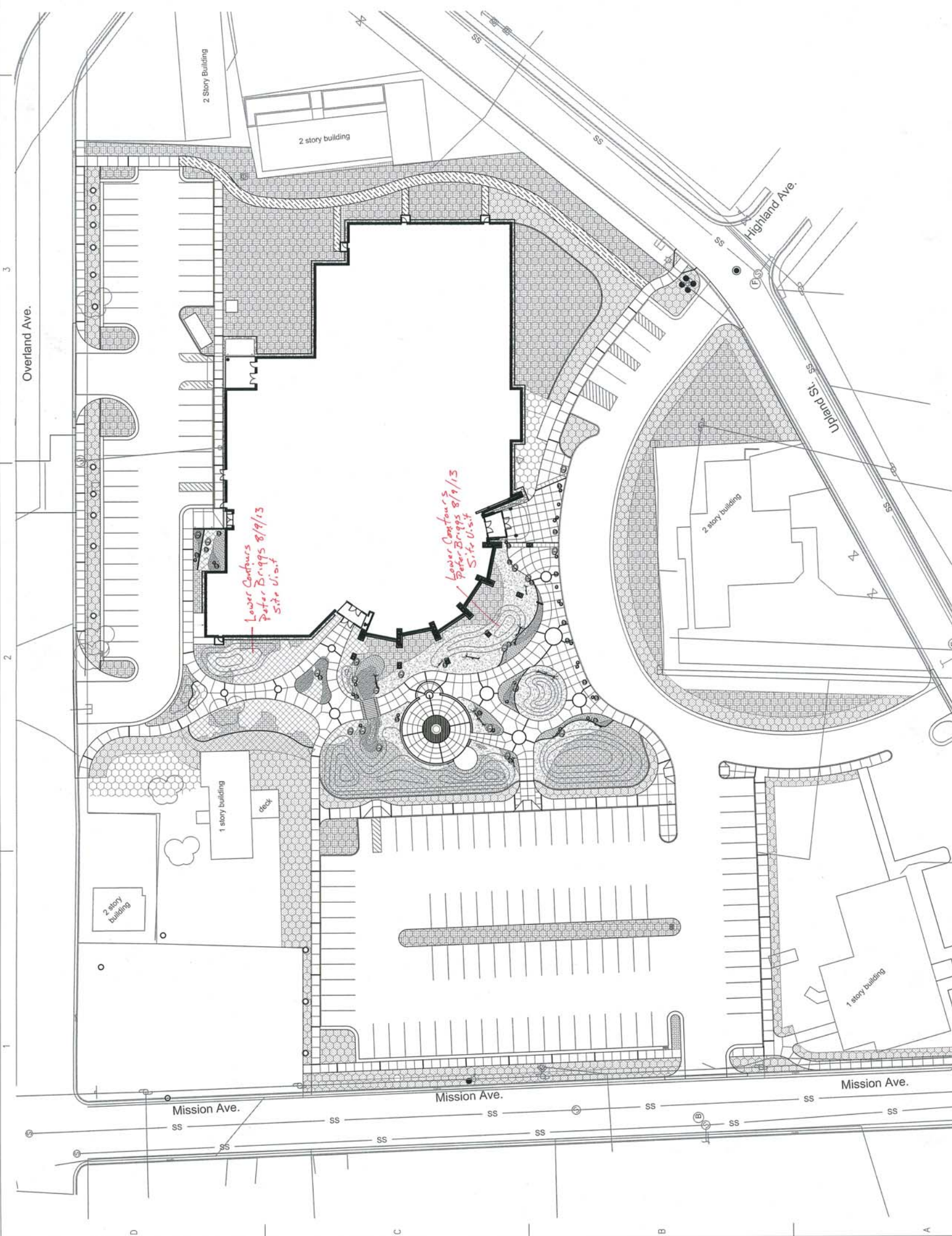
**TOWNSITE OF KENAI  
 2016 ADDITION**

AND FINALIZING A RIGHT OF WAY VACATION FOR AN ALLEY WAY LOCATED WITHIN THE E1/2 SEC. 8, T9N, R11W, S4, CITY OF KENAI, KENAI RECORDING DISTRICT, KENAI PENINSULA BOROUGH, ALASKA CONTAINING 3,812 ACRES

**INTEGRITY SURVEYS, INC.**  
 820 SET NET DR. KENAI, AK 99611  
 SURVEYORS PHONE - (907) 288-0073 FAX - (907) 288-8874  
 SURVEYED: MAY 2016 DRAWN: MAY 4, 2016 SHI  
 JOB NO. 216071  
 FIELD BK. 2016-3 PRE-22 FILE: 216071 PP.dwg

# Attachment C





- Soils**
- Excavate as required for installation of 4" depth of Standard Planting Soil (measured after compaction). Finished elevations per Civil unless otherwise noted.
  - Excavate as required for installation of 12" depth of Standard Planting Soil (measured after compaction). Finished elevations per Civil unless otherwise noted.
- Surfaces**
- Gravel Trail - See Civil
  - Beach - 6" Depth
  - Compacted Subgrade below
  - Rock Mulch - Drip Strip (see detail)
  - Rock Mulch - Type A - 6" depth
  - Compacted Subgrade below
  - Rock Mulch - Type B - 6" depth
  - Compacted Subgrade below
  - Rock Mulch - Type C - 6" depth
  - Compacted Subgrade below
  - Granite [ColdSpringGranite - Charcoal Black, Polished border with honed finish and etched graphic, see details]
  - Type A Concrete [Interstar Integral Color - Potter's Clay, 2 bags, BN2531R], Broom Finish.
  - Type D Concrete [Interstar Integral Color - Monsoon, 2 bags, NR5157R], Exposed Aggregate Finish.

**Notes:**

- 1) Unless noted, all concrete shall be standard color and broom finish.
- 2) All Rock Mulch areas to have weed-free fabric installed below mulch per Drip Strip details.

**Architects Alaska**  
Klauder & Company  
Architects  
900 W. 5th Ave. Suite 403  
Kenai, AK 99541  
907.272.3547 907.272.1332 fax  
600 Petrossen Way  
Kenai, AK 99541  
907.272.7419 907.251.0459 fax

**Corvus Design**  
Landscape Architecture  
www.corvus-design.com  
Anchorage - 907.232.2889  
2006-67 Fennell St. #200  
Juneau - 907.586.0000  
11 Fennell St. #200



**Dena'ina Wellness Center**  
Kenaitze Indian Tribe  
Kenai, Alaska

REVISIONS	
NO.	DESCRIPTION DATE

<b>DRAWN BY</b>	<b>DATE</b>
PB, JRF, JLM	03-06-2013
<b>CHECKED</b>	<b>JOB NO.</b>
PB	A-AM-10-03

**SHEET CONTENTS**  
Soils & Surfacing Plan

<b>CATEGORY</b>	<b>SHEET NO</b>
L	101



SCALE: 1"=30'-0" @ 22"x34"

**Soils & Surfaces Plan**  
SCALE: 1"=40'-0" @ 22"x34"  
L101



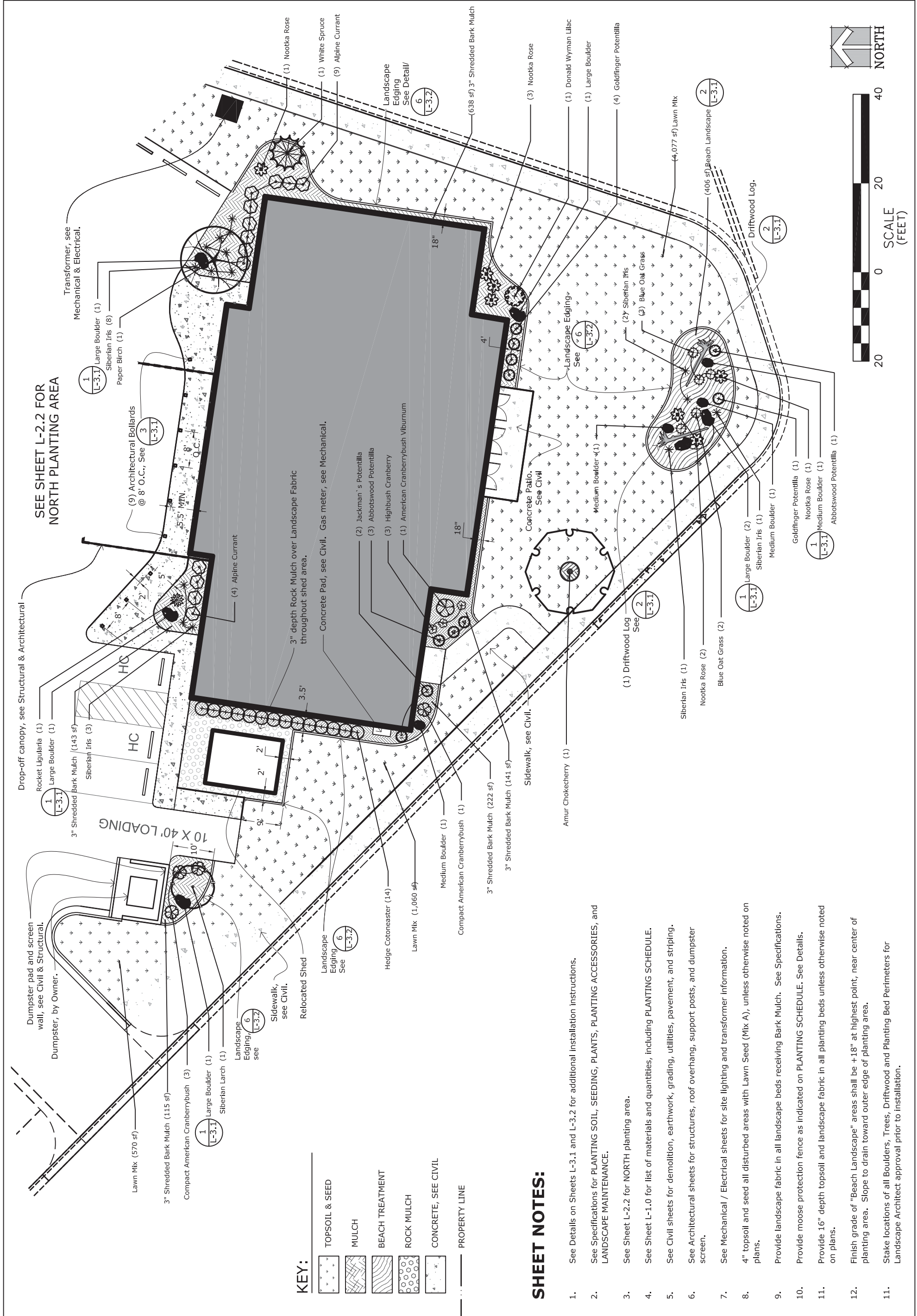


sparkdesign, llc  
 architecture • interiors • design-build  
 po box 11051 anchorage, alaska 99511  
 p. 907.344.3424 f. 907.771.9776

Kenaitze Indian Tribe  
 Tyotkas Elder Center  
 Kenai, Alaska

REVISION	DESCRIPTION	DATE

JOB NO. 2050  
 DATE 06-05-2015  
 DRAWN NIC  
 REVIEWED MA  
 SHEET NAME LANDSCAPE PLAN - SOUTH  
 SHEET NO. L-2.1



**KEY:**

	TOPSOIL & SEED
	MULCH
	BEACH TREATMENT
	ROCK MULCH
	CONCRETE, SEE CIVIL
	PROPERTY LINE

**SHEET NOTES:**

- See Details on Sheets L-3.1 and L-3.2 for additional installation instructions.
- See Specifications for PLANTING SOIL, SEEDING, PLANTS, PLANTING ACCESSORIES, and LANDSCAPE MAINTENANCE.
- See Sheet L-2.2 for NORTH planting area.
- See Sheet L-1.0 for list of materials and quantities, including PLANTING SCHEDULE.
- See Civil sheets for demolition, earthwork, grading, utilities, pavement, and striping.
- See Architectural sheets for structures, roof overhang, support posts, and dumpster screen.
- See Mechanical / Electrical sheets for site lighting and transformer information.
- 4" topsoil and seed all disturbed areas with Lawn Seed (Mix A), unless otherwise noted on plans.
- Provide landscape fabric in all landscape beds receiving Bark Mulch. See Specifications.
- Provide moose protection fence as indicated on PLANTING SCHEDULE. See Details.
- Provide 16" depth topsoil and landscape fabric in all planting beds unless otherwise noted on plans.
- Finish grade of "Beach Landscape" areas shall be +18" at highest point, near center of planting area. Slope to drain toward outer edge of planting area.
- Stake locations of all Boulders, Trees, Driftwood and Planting Bed Perimeters for Landscape Architect approval prior to installation.

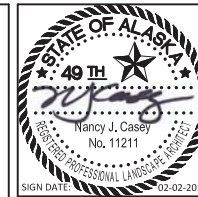




# Attachment D

**GENERAL NOTES:**

1. M.A.S.S. (2015) is the Municipality of Anchorage Standard Specifications that are hereby incorporated into these Contract Documents. The contractor is responsible for checking www.muni.org/projectmgmt/publications.cfm to ensure they have the most current version. Specifications, Drawings and General Provisions provided by the Owner (Kenaitze Indian Tribe) or their Agents (Engineers, Architects) take precedence over the M.A.S.S.
2. See Civil, Architectural, Electrical and Structural Sheets for plans and specifications relating to demolition, building, utilities, lighting, earthwork, concrete, signage, and striping.
3. See Sheets L1.01 and L1.02 for Landscape Details, Schedule and Specifications.
4. Owner is responsible for repairing, maintaining and replacing all required landscaping and site improvements within the 10' utility easement.
5. Owner is responsible for on-going maintenance and replacement of all vegetation located on the property that is required by City of Kenai Title 14.
6. Maintain a minimum 24' width two-way drive aisles and minimum 9' x 18' parking spaces.
7. Where existing vegetation is to remain, protect trees and root zones from compaction, fill, and other damage.
8. Install Tree Protection Fence as directed in Planting Schedule.
9. Install Landscape Fabric throughout all Rocky Beach and Sandy Beach areas.



**sparkdesign, llc**  
 architecture • interiors • design-build  
 5401 cordova street, suite 301  
 anchorage, alaska 99518  
 p. 907.344.3424 f. 907.771.9776

**CASEY PLANNING & DESIGN**  
 Landscape Architecture on the Kenai Peninsula  
 34860 Semco Creek, Soldotna, AK 99669  
 Ph. 907.394.2577  
 caseyplanninganddesign@alaska.net  
 Nancy J. Casey, P.L.A., A.S.A.  
 Landscape Architect

**Kenaitze Indian Tribe**  
**Na'ini Bldg. Parking Lot Upgrades**  
**Kenai, Alaska**

REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

JOB NO. 15-036  
 DATE 2016.02.02  
 DRAWN NIC  
 REVIEWED DTW

SHEET NAME  
 LANDSCAPE  
 PLAN

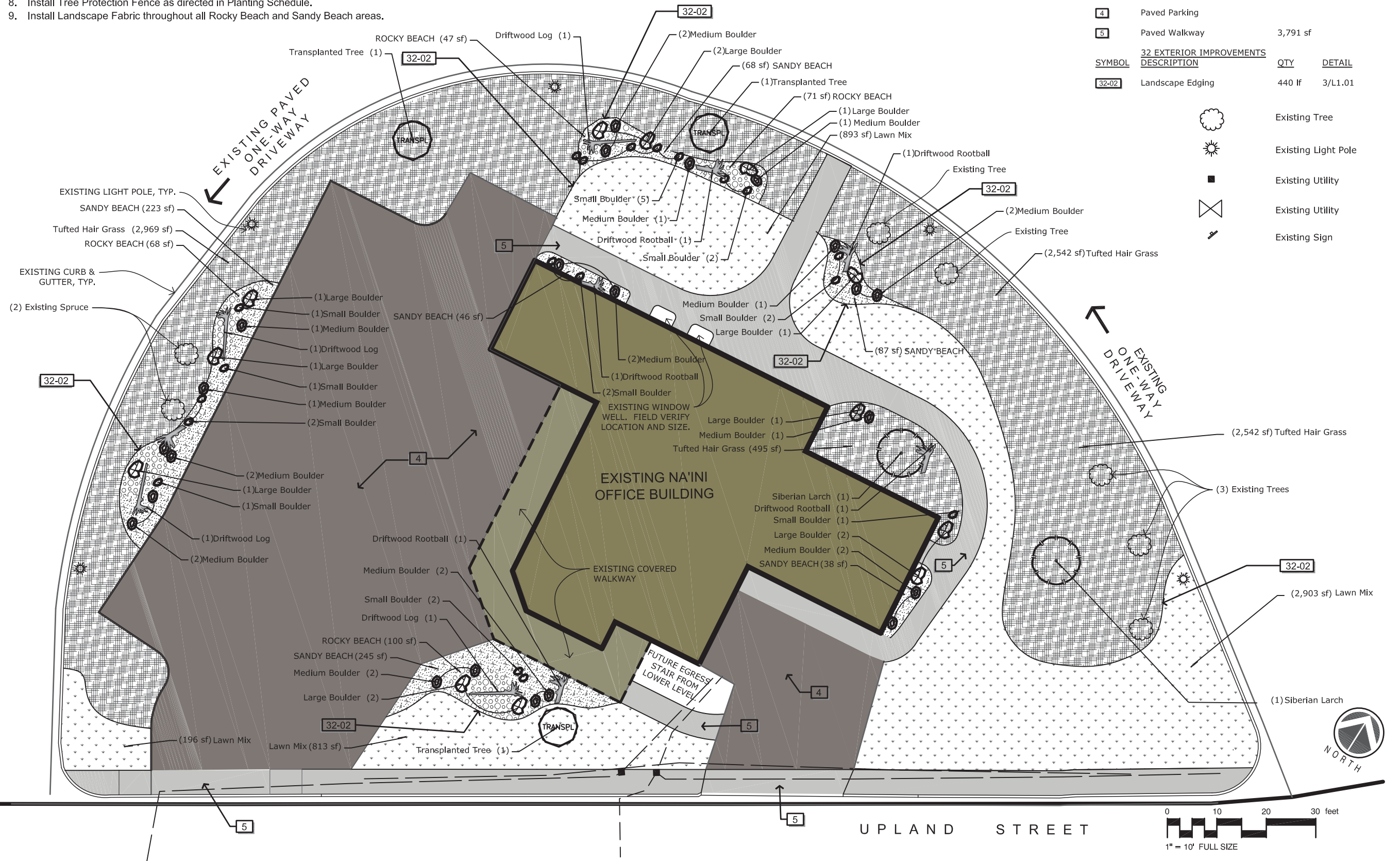
SHEET NO.  
**L1.00**



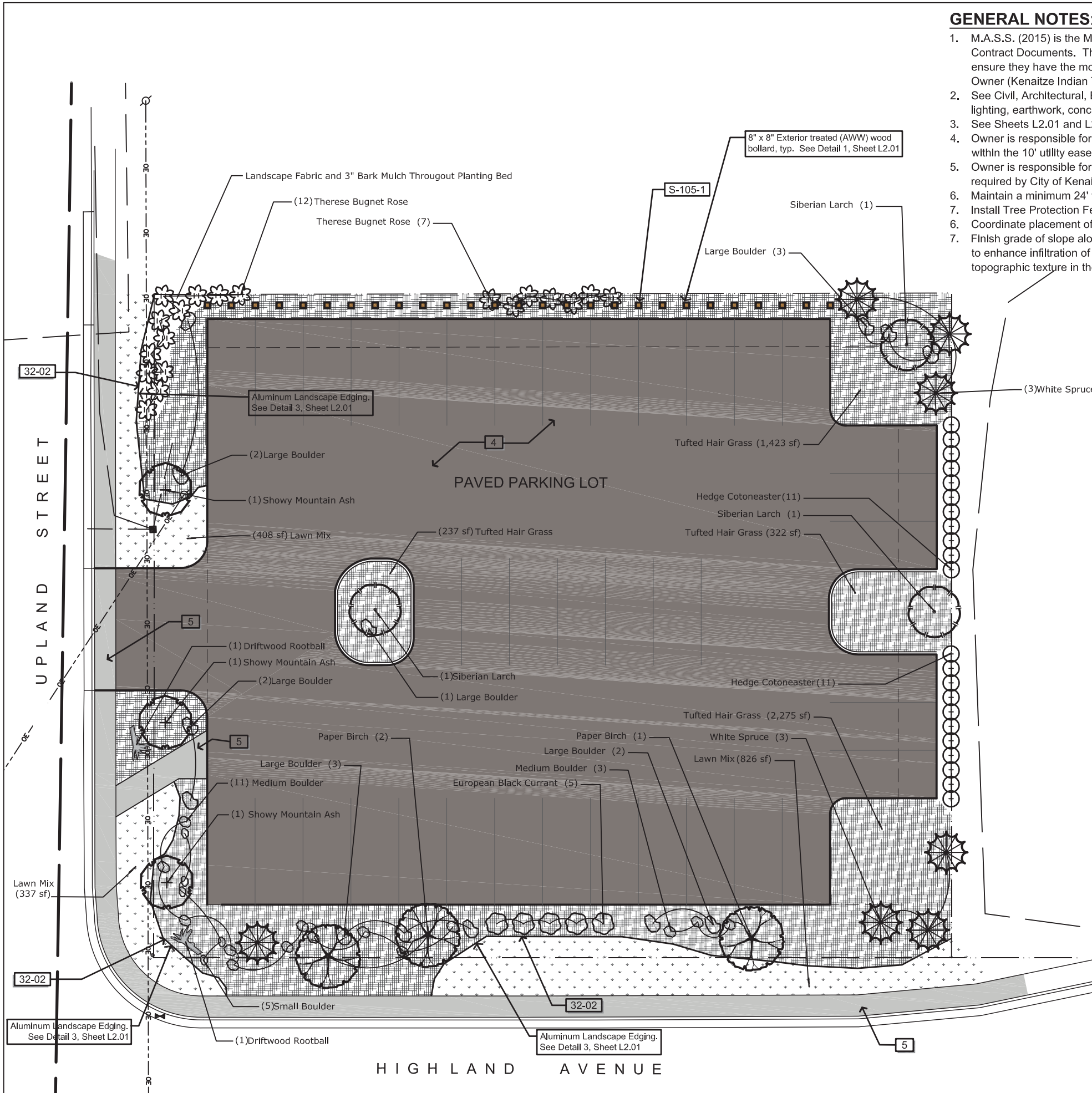
**REFERENCE NOTES SCHEDULE NA\_INI\_LOT**

SYMBOL	DESCRIPTION	QTY	DETAIL
4	Paved Parking		
5	Paved Walkway	3,791 sf	
32 EXTERIOR IMPROVEMENTS			
SYMBOL	DESCRIPTION	QTY	DETAIL
32-02	Landscape Edging	440 lf	3/L1.01

	Existing Tree
	Existing Light Pole
	Existing Utility
	Existing Utility
	Existing Sign







**GENERAL NOTES:**

1. M.A.S.S. (2015) is the Municipality of Anchorage Standard Specifications that are hereby incorporated into these Contract Documents. The contractor is responsible for checking [www.muni.org/projectmgmt/publications.cfm](http://www.muni.org/projectmgmt/publications.cfm) to ensure they have the most current version. Specifications, Drawings and General Provisions provided by the Owner (Kenaitze Indian Tribe) or their Agents (Engineers, Architects) take precedence over the M.A.S.S.
2. See Civil, Architectural, Electrical and Structural Sheets for plans and specifications relating to demolition, lighting, earthwork, concrete, signage, and striping.
3. See Sheets L2.01 and L2.02 for Landscape Details, Schedule and Specifications.
4. Owner is responsible for repairing, maintaining and replacing all required landscaping and site improvements within the 10' utility easement.
5. Owner is responsible for on-going maintenance and replacement of all vegetation located on the property that is required by City of Kenai Title 14.
6. Maintain a minimum 24' width two-way drive aisles and minimum 9' x 18' parking spaces.
7. Install Tree Protection Fence as directed in Planting Schedule.
6. Coordinate placement of driftwood & boulders with Owner's Representative.
7. Finish grade of slope along the southern edge of parking lot shall contain small irregularities (mounds and dips) to enhance infiltration of stormwater run-off. Rocks and boulders shall be placed to create additional topographic texture in the finish grade along that slope.

**CITY OF KENAI TITLE 14 COMPLIANCE NOTES:**

**Perimeter / Buffer Landscaping:** Not Applicable

**Interior Enhancement Landscaping:**

Property Size: ~18,730 s.f.  
 Provided: 975 s.f. (5%)

**Parking Lot Landscaping:**

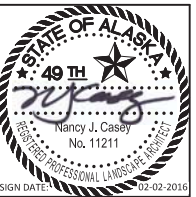
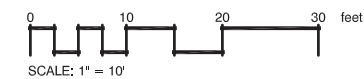
- Internal landscaping areas are provided at 2 corners, along one edge, and as an internal island, for a total of 1,285 s.f.
- Landscape treatments include bollards for traffic control, trees, shrubs, boulders, and native grasses.

**Street Right-of-Way Landscaping:**

- Upland Street & Highland Avenue - total of 275 linear feet
- 10' wide landscaped areas are provided the entire length of Upland and Highland. Landscape treatments include lawn, native grasses, boulders, driftwood, and trees.
  - Tree species include Paper Birch, Larch, Mountain Ash, and White Spruce. Shrubs include Rugosa Roses and Black Currant.

**REFERENCE NOTES SCHEDULE "RV"**

SYMBOL	DESCRIPTION	QTY	DETAIL
4	Paved Parking	/	
5	Paved Walkway	/	
32 EXTERIOR IMPROVEMENTS			
SYMBOL	DESCRIPTION	QTY	DETAIL
32-02	Landscape Edging	411 lf	3/L2.01
SITE FURNISHINGS			
SYMBOL	DESCRIPTION	QTY	DETAIL
S-105-1	8 x 8 WOOD BOLLARD	27	1/L2.01



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 Nancy J. Casey, P.L.A., A.S.A.  
 Landscape Architect

**Kenaitze Indian Tribe  
 Overflow Parking Lot Upgrades  
 Kenai, Alaska**

REVISION SCHEDULE	
NO.	DATE

JOB NO. 15-036  
 DATE 2016.02.02  
 DRAWN NJC  
 REVIEWED DTW

SHEET NAME  
 LANDSCAPE PLAN

SHEET NO.  
**L2.00**